

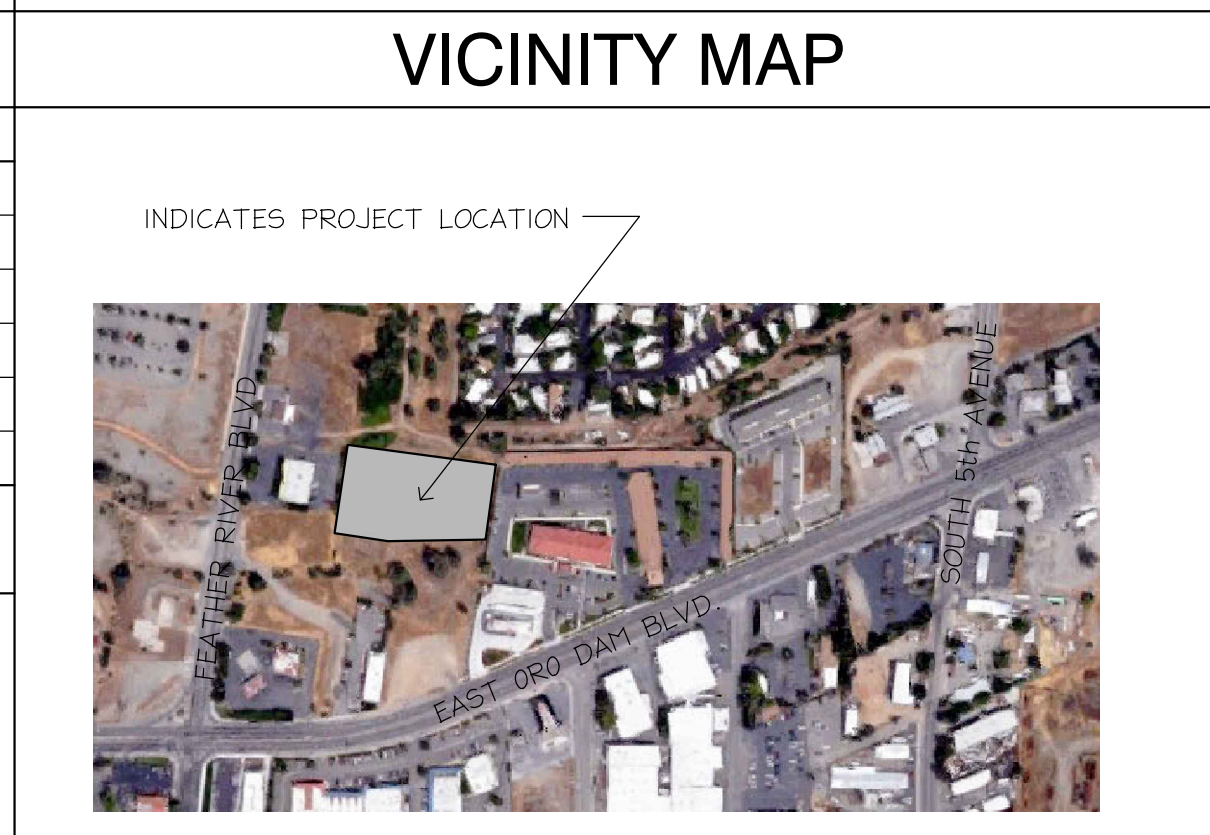
- ### KEYED NOTES
- 1 DASHED LINES INDICATE EXISTING PROPERTY LINE.
 - 2 EXISTING CURB TO REMAIN.
 - 3 EXISTING STREET LIGHT(S) TO REMAIN.
 - 4 EXISTING TREE(S) TO REMAIN.
 - 5 DASHED LINES INDICATE EXISTING PACIFIC GAS AND ELECTRIC COMPANY UTILITY EASEMENT.
 - 6 DASHED LINES INDICATE EXISTING GFT NV DEVELOPMENTS, L.L.C. UTILITY EASEMENT.
 - 7 NEW POLE MOUNTED TOW-AWAY SIGNAGE.
 - 8 NEW STAMP CONCRETE DRIVEWAY.
 - 9 NEW AC PAVING.
 - 10 NEW DIRECTIONAL ARROW STRIPING PAINTED.
 - 11 NEW 6" HIGH CONCRETE CURB.
 - 12 NEW CONCRETE FLATWORK - CONCRETE FLATWORK SHALL NOT EXCEED MAXIMUM SLOPE IN ANY DIRECTION.
 - 13 NEW ACCESSIBLE PARKING STALL, CONCRETE CURB CUT RAMP, SIGNAGE, LOADING/UNLOADING ZONE, TRUNCATED DOPES, AND STRIPING/ISA' SYMBOL.
 - 14 DASHED LINES INDICATE NEW ACCESSIBLE CONCRETE CURB CUT RAMP.
 - 15 NEW 4" WIDE STRIPING PAINTED WHITE.
 - 16 NEW LANDSCAPING AREA PER CITY STANDARDS.
 - 17 NEW C.M.U. BLOCK TRASH AND RECYCLING ENCLOSURE PER CITY STANDARDS.
 - 18 NEW ELECTRICAL TRANSFORMER - PROVIDE BOLLARDS AND CONCRETE PAD.
 - 19 LOCATION OF FRONT SETBACK.
 - 20 DASHED LINES INDICATE LOCATION OF PORTE COCHERE.
 - 21 NEW OUTDOOR PATIO AREA.
 - 22 NEW PARKING LOT POLE LIGHT ON CONCRETE BASE - POLE LIGHT SHALL NOT BE WITHIN 2'-0" DEEP VEHICLE OVERHANG - McGRAH-EDISON RIGLON-AF-05-LED-EI-T3-BZ / 5554A255FNI QX / AB / GF / T/PI - 25' POLE - FINAL DESIGN BY ELECTRICAL ENGINEER.
 - 23 44'-0" CENTERLINE TRUCK TURNING RADIUS.
 - 24 NEW POST INDICATOR VALVE (P.I.V.).
 - 25 NEW FIRE HYDRANT.
 - 26 NEW FIRE DEPARTMENT CONNECTION (F.D.C.).
 - 27 NEW HAMPTON INN AND SUITES PYLON SIGN.
 - 28 NEW HAMPTON INN AND SUITES MONUMENT SIGN.
 - 29 NEW HAMPTON INN AND SUITES DIRECTIONAL SIGN.

PROJECT DATA

PARCEL DATA	
A.P.N.:	035-030-099-000
ZONING:	MXC (CORRIDOR MIXED-USE)
LAND AREA:	(2.46 ACRES) ±107,000 S.F.
BUILDING DATA	
GROUND FLOOR AREA:	15,416 S.F.
SECOND FLOOR AREA:	13,307 S.F.
THIRD FLOOR AREA:	13,265 S.F.
FOURTH FLOOR AREA:	13,265 S.F.
GROSS BUILDING AREA:	55,253 S.F.
CONSTRUCTION TYPE:	IIA
BUILDING OCCUPANCY TYPE:	R-1
FIRE SPRINKLERS:	YES
FIRE ALARM:	YES
NUMBER OF STORIES:	4
ACTUAL BUILDING HEIGHT:	54'-4"
BUILDING LOT COVERAGE:	51.64%
PARKING DATA:	
TOTAL REQUIRED VEHICLE PARKING STALLS:	
TOTAL VEHICLE PARKING STALLS FOR HOTEL REQUIRED BY ZONING ORDINANCE:	99
(1 PER ROOM PLUS ADDITIONAL SPACES FOR EMPLOYEES = ACCESSIBILITY PARKING REQUIREMENTS:	
ACCESSIBLE:	4
(VAN ACCESSIBLE)	1
TOTAL PROVIDED NEW VEHICLE PARKING STALLS:	
STANDARD:	103
ACCESSIBLE:	4
(VAN ACCESSIBLE)	2
TOTAL PROVIDED VEHICLE PARKING STALLS:	107

GUEST ROOM COUNT BREAKDOWN

ROOM TYPE	GROUND FL.	2nd FLOOR	3RD FLOOR	4TH FLOOR	TOTAL
KING	0	2	2	2	6
DOUBLE QUEEN	0	12	15	15	42
KING STUDIO	7	8	8	8	31
ACCESSIBLE KING	0	1	1	1	3
ACCESSIBLE DOUBLE QUEEN	0	1	1	1	3
ACCESSIBLE KING STUDIO	1	0	0	0	1
TOTAL	8	24	27	27	86



CENTERLINE DESIGN, LLC
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PROJECT
 SCHEMATIC DESIGN PLANS FOR:
 HAMPTON INN & SUITES
 2355 FEATHER RIVER BLVD.
 OROVILLE, CALIFORNIA

STATUS

Current Release Date	02-18-20
Planning Submittal	
Plan Check Submittal	

REVISIONS

1	
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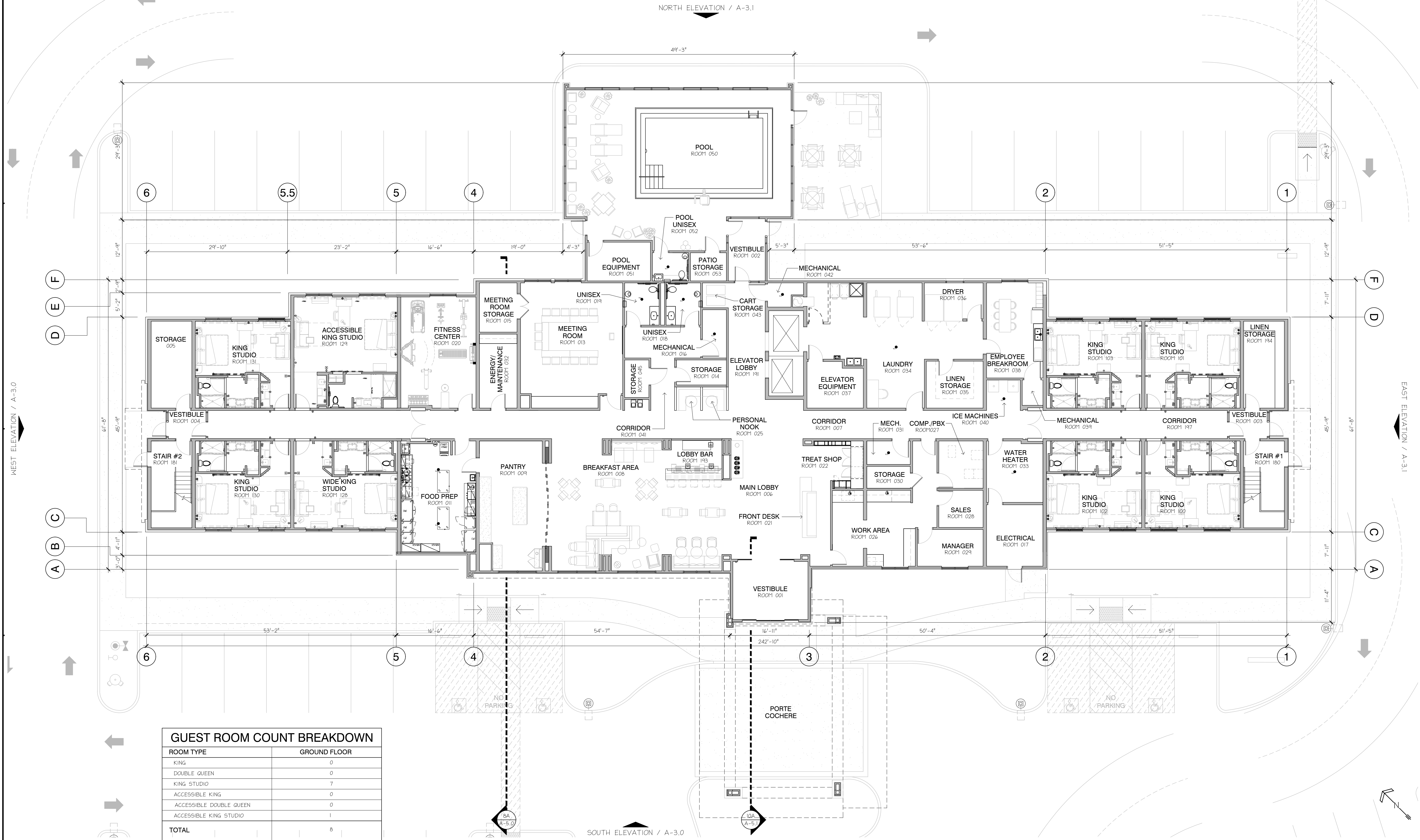
IDENTIFICATION

Scale	1" = 20'-0"
Project Coordinator	CHRIS WARD
Project No.	19-114
Sheet	A-0.0

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PROPOSED SITE PLAN

A-0.0



GUEST ROOM COUNT BREAKDOWN	
ROOM TYPE	GROUND FLOOR
KING	0
DOUBLE QUEEN	0
KING STUDIO	7
ACCESSIBLE KING	0
ACCESSIBLE DOUBLE QUEEN	0
ACCESSIBLE KING STUDIO	1
TOTAL	8

GENERAL NOTES

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PROJECT
SCHEMATIC DESIGN PLANS FOR:
HAMPTON INN & SUITES
2355 FEATHER RIVER BLVD.
OROVILLE, CALIFORNIA

STATUS	
Current Release Date	02-18-20
Planning Submittal	--
Plan Check Submittal	--

REVISIONS	
1	△
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3	△
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5	△

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Scale	3/32" = 1'-0"
Project Coordinator	CHRIS WARD
Project No.	19-114
Sheet	A-1.0

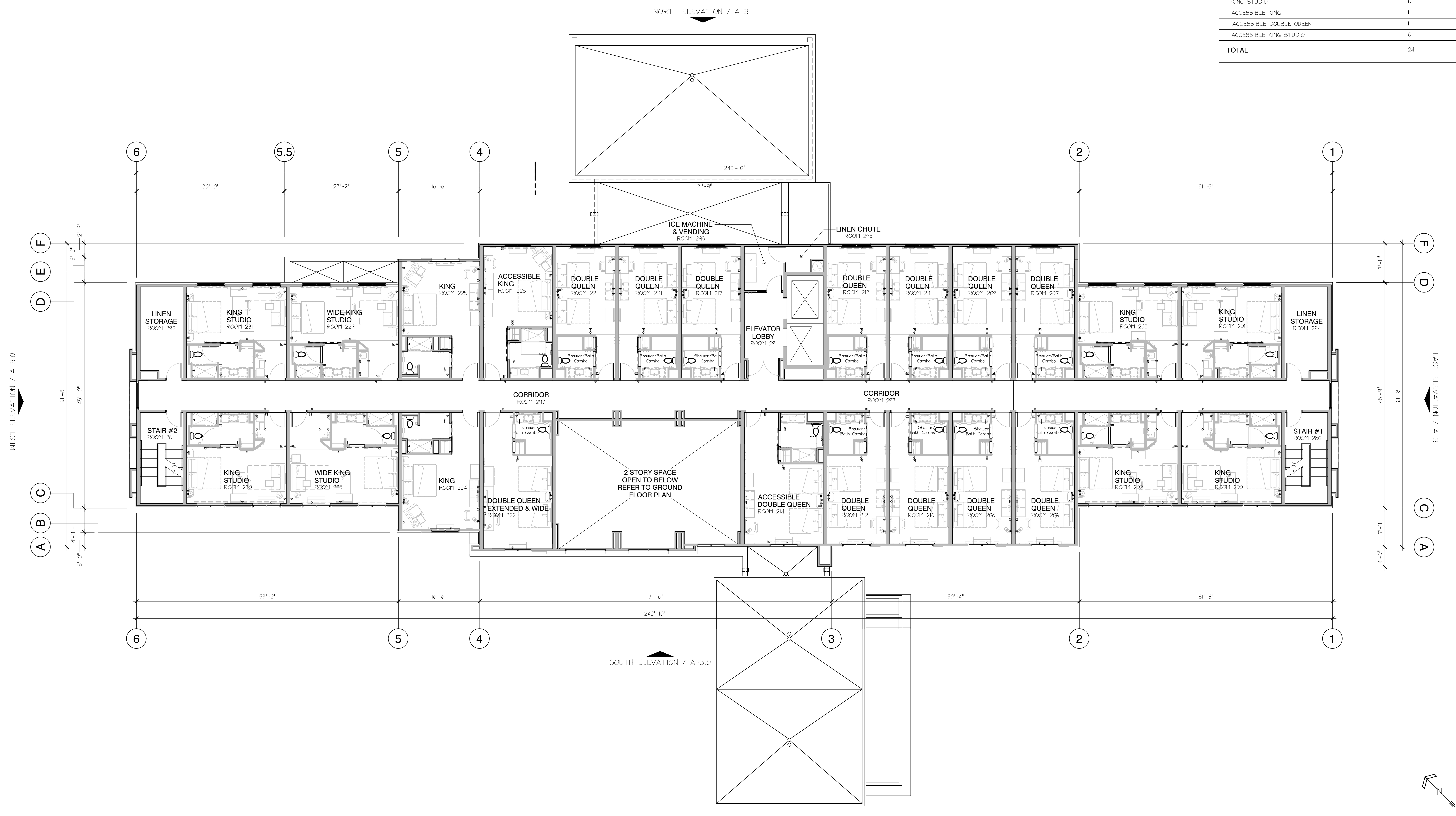
PROPOSED GROUND FLOOR PLAN

GUEST ROOM COUNT BREAKDOWN

ROOM TYPE	SECOND FLOOR
KING	2
DOUBLE QUEEN	12
KING STUDIO	8
ACCESSIBLE KING	1
ACCESSIBLE DOUBLE QUEEN	1
ACCESSIBLE KING STUDIO	0
TOTAL	24



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PROPOSED SECOND FLOOR PLAN

PROJECT
 SCHEMATIC DESIGN PLANS FOR:
 HAMPTON INN & SUITES
 2355 FEATHER RIVER BLVD.
 OROVILLE, CALIFORNIA

STATUS

Current Release Date	02-18-20
Planning Submittal	--
Plan Check Submittal	--

REVISIONS

1	△	
2	△	
3	△	
4	△	
5	△	

IDENTIFICATION

Scale	3/32" = 1'-0"
Project Coordinator	CHRIS WARD
Project No.	19-114
Sheet	

A-1.1

GUEST ROOM COUNT BREAKDOWN

ROOM TYPE	THIRD FLOOR
KING	2
DOUBLE QUEEN	15
KING STUDIO	8
ACCESSIBLE KING	1
ACCESSIBLE DOUBLE QUEEN	1
ACCESSIBLE KING STUDIO	0
TOTAL	27



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NORTH ELEVATION / A-3.1



SOUTH ELEVATION / A-3.0

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Project Coordinator	CHRIS WARD
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PROPOSED THIRD FLOOR PLAN

A-1.2

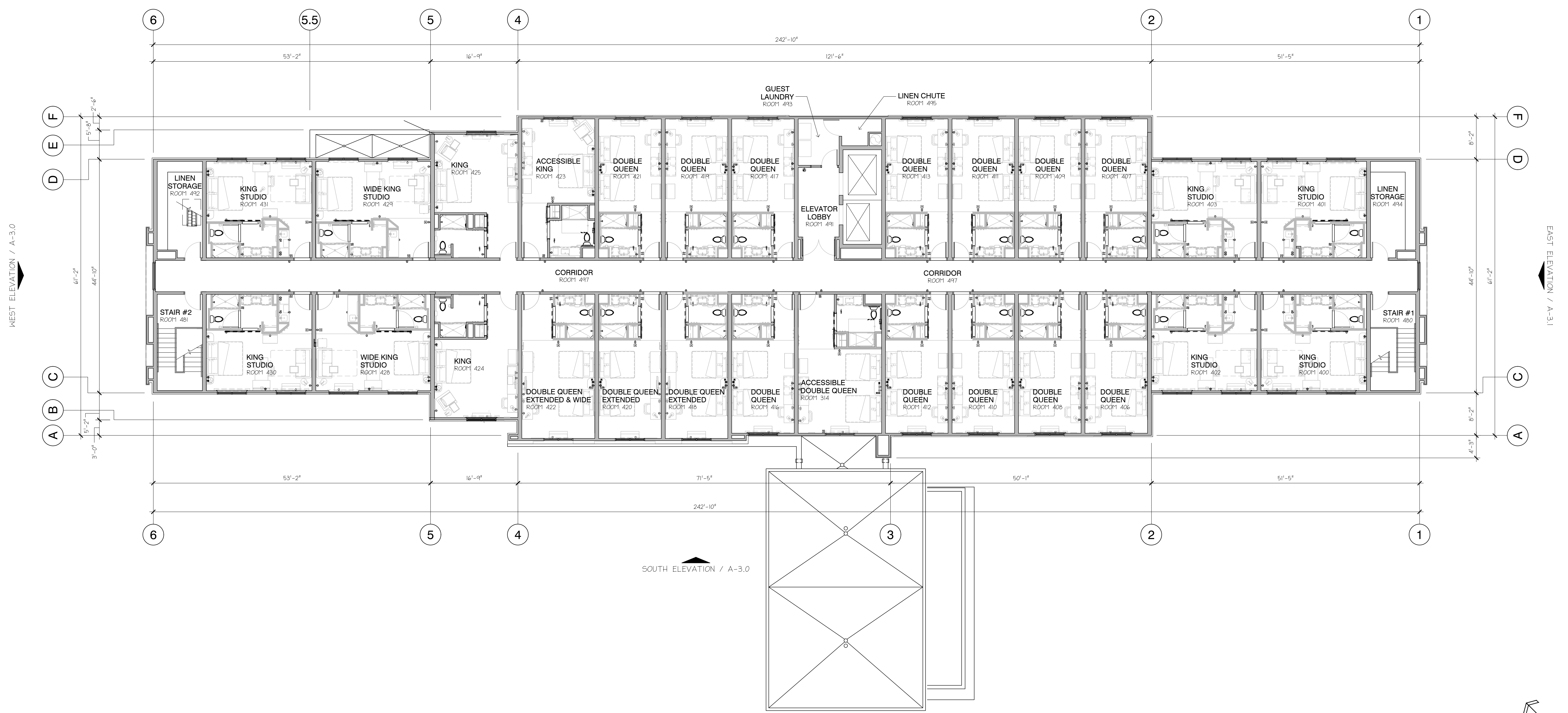
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SOUTH ELEVATION / A-3.0

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 OROVILLE, CALIFORNIA

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IDENTIFICATION

Scale	1/8" = 1'-0"
Project Coordinator	CHRIS WARD
Project No.	19-114
Sheet	

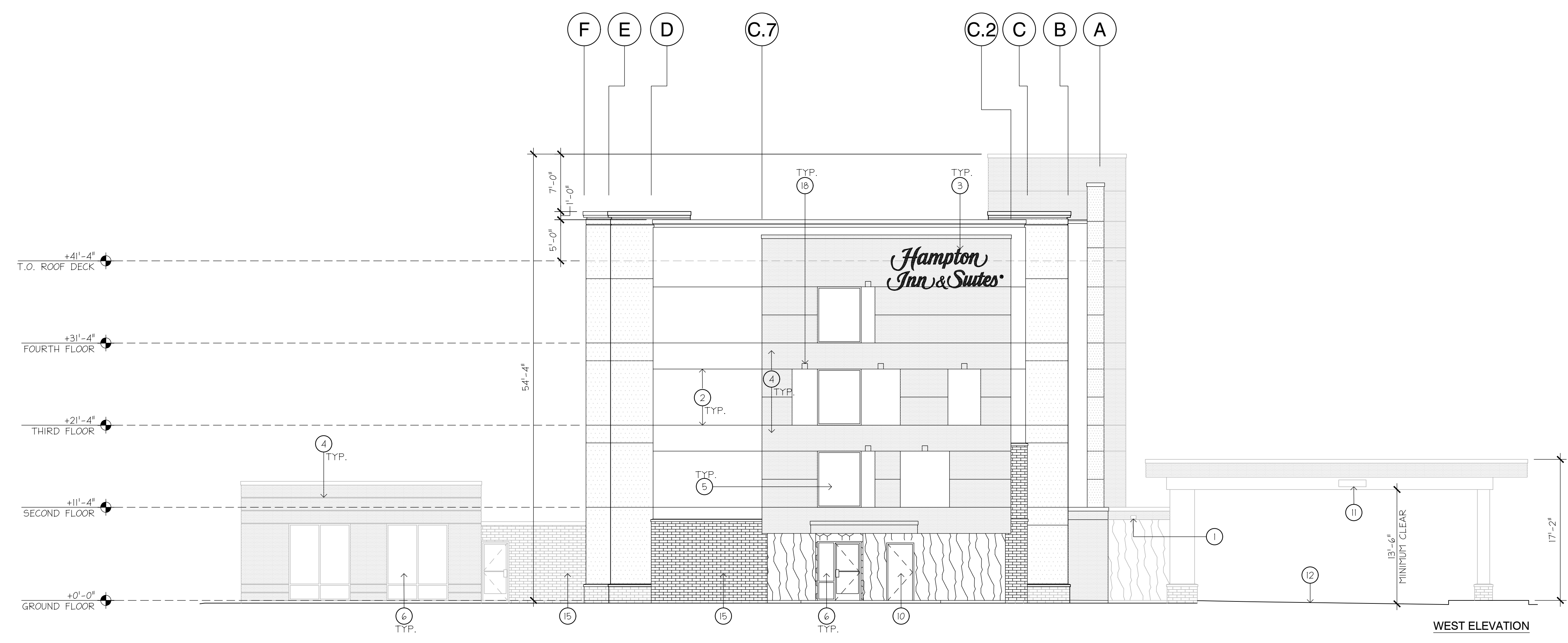
GENERAL NOTES

- ALL CONTROLS FOR USE BY GUESTS MUST BE MOUNTED BETWEEN 15" AND 48" AND MUST HAVE A 30"x48" MINIMUM CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS BETWEEN 10" AND 24" DEEP MAY BE NO HIGHER THAN 46" AFF IF PARALLEL APPROACH IS PROVIDED; WHERE OBSTRUCTIONS ARE BETWEEN 20" AND 25" WITH FORWARD APPROACH CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER/TOILET/SHOWER ROOMS MUST BE ACCESSIBLE AND HAVE ACCESSIBLE FEATURES AND FIXTURES. EMPLOYEE WORK AREAS LESS THAN 1000 SQFT AS DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS ARE NOT REQUIRED TO HAVE AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE REQUIRED TO BE CONSTRUCTED SO AN INDIVIDUAL CAN APPROACH, ENTER AND EXIT THE SPACE.
- IN COMMON SPACES WITHIN EMPLOYEE AREAS AT LEAST ONE OF EACH TYPE OF STORAGE OR WORK COUNTER, 5% OF LOCKERS, AND CONTROLS (EM PHONES, CARD READERS, ETC.) MUST BE ON AN ACCESSIBLE ROUTE, WITHIN REACH RANGE AND MUST COMPLY WITH STANDARDS FOR CONTROLS AS DEFINED IN THE GOVERNING ACCESSIBILITY STANDARDS OR LOCAL CODE WHICHEVER IS STRICTER.
- FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE AND VISIBLE ALARMS COMPLYING WITH NFPA 72 (1999 OR 2010 EDITION) AND AS REQUIRED BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC AND COMMON USE AREAS AND GUEST ROOMS DESIGNATED AS 'GUEST ROOMS WITH COMMUNICATIONS FEATURES' AT A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQUIRED BY LOCAL AUTHORITIES.
- OPERABLE PORTION OF CARD READER TO BE MOUNTED AT 48" OR BELOW WITH CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH.
- ALL SIGNS IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQUIRED TO HAVE VISUAL AND RAISED CHARACTERS AND BRAILLE SIGNAGE TO BE MOUNTED ON LATCH SIDE OF DOOR WITH THE LOWEST TACTILE CHARACTERS NO LOWER THAN 48" AND THE BOTTOM OF THE HIGHEST TACTILE CHARACTERS NO HIGHER THAN 60" AFF.
- IN PUBLIC AREAS INTENDED FOR DINING, AT LEAST 5% OF THE TABLES MUST BE ACCESSIBLE WITH COMPLIANT KNEE AND TOE CLEARANCE AND LOCATED ON AN ACCESSIBLE ROUTE AND DISTRIBUTED THROUGHOUT THE SPACE.
- ALL EQUIPMENT, FURNITURE AND MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCES AND REACH RANGES AS DEFINED BY THE GOVERNING ACCESSIBILITY CODE OR LOCAL CODE, WHICHEVER IS STRICTER.
- ALL OPERABLE WINDOWS PROVIDED IN PUBLIC GUEST ACCESSIBLE SPACES AND IN ACCESSIBLE GUEST ROOM TYPES MUST MEET ALL ACCESSIBILITY REQUIREMENTS PERTAINING TO REACH RANGE, OPERATING CONTROLS AND CLEAR FLOOR SPACE - HARDWARE AND WINDOW OPERATION MUST BE NO GREATER THAN 5 LBS.
- PROVIDE ACCESSIBLE FLOOR TRANSITIONS AT ALL LOCATIONS WHERE THERE IS A CHANGE IN FLOORING MATERIAL OR AT DOOR THRESHOLDS. THE CHANGE OF LEVEL BETWEEN MATERIALS MUST BE NO MORE THAN 1/4" OR UP TO 1/2" IF SLOPED AT 1:2.
- ALL DATA AND POWER RECEPTACLES INTENDED FOR GUEST ACCESS/USE MUST BE INSTALLED WITHIN ACC. REACH RANGES -- REFER TO GENERAL NOTE #1.
- HALL MOUNTED EQUIPMENT, FIXTURES, LIGHTING, ETC. BETWEEN 27" AND 80" AFF SHALL NOT PROTRUDE MORE THAN 4" FROM HALL PER ACCESSIBILITY REQUIREMENTS - CONSULT THE HDG FOR FURTHER REQUIREMENTS.
- ALL EQUIPMENT (INCLUDING VENDING MACHINES, ICE MACHINES, ATM MACHINES, WASHERS, DRYERS, ETC.) FURNITURE AND MILLWORK INTENDED FOR GUEST USE MUST BE ON AN ACCESSIBLE ROUTE AND MUST MEET ACCESSIBILITY STANDARDS FOR CLEAR FLOOR SPACE, REACH RANGE, OPERATING PARTS AND KNEE AND TOE SPACE AS DEFINED BY ACCESSIBILITY REQUIREMENTS OR APPLICABLE LOCAL CODES, WHICHEVER IS STRICTER.
- ALL EQUIPMENT INTENDED FOR GUEST USE MUST BE PLACED SO THAT CONTROLS REQUIRED FOR USE ARE WITHIN THE ACCESSIBLE REACH RANGE AS DEFINED BY THE GENERAL NOTES ON THE ACCESSIBILITY PLANS. OWNER MUST VERIFY THAT ALL EQUIPMENT MEETS THESE REQUIREMENTS PRIOR TO INSTALLATION.
- BUILT-IN COUNTERS TO BE MINIMUM 24" X 48" AND BE LOCATED BETWEEN 28" - 34" AFF AND MUST HAVE MIN. 17" UNOBSTRUCTED DEEP KNEE AND TOE SPACE THAT IS AT LEAST 30" WIDE. IF STORAGE IS PROVIDED, SUCH AS HOOKS, HANG RODS OR SHELVES, A PORTION MUST BE PROVIDED AT 48" AFF WITH 30" X 48" CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH TO THE STORAGE AREA.
- REFER TO HDG FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT.

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FOURTH FLOOR PLAN

A-1.3



WEST ELEVATION



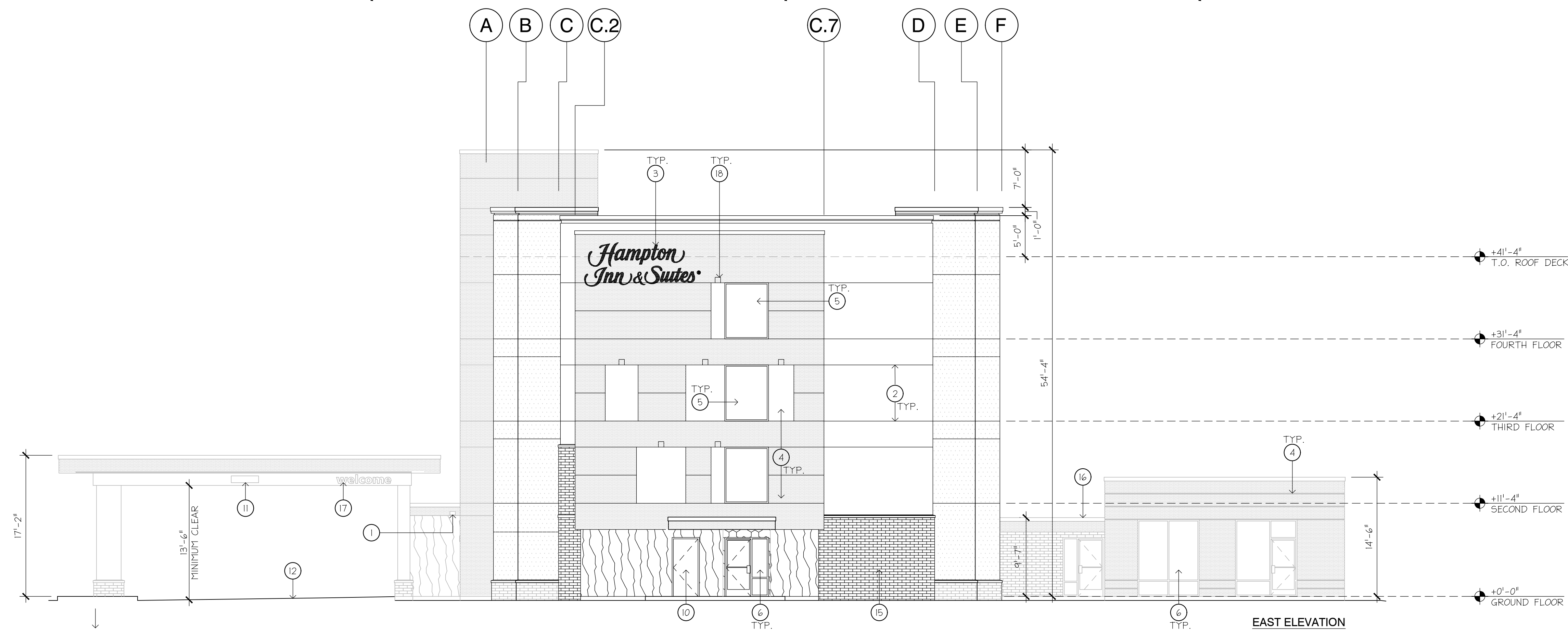
SOUTH ELEVATION

GENERAL NOTES	KEY NOTES	COLOR and FINISH LEGEND
<ol style="list-style-type: none"> ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS, CONDENSING UNITS, EXHAUST FANS, BOILER FLUES, ETC. ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALLS. DO NOT EXCEED (5) STRUCTURAL BAYS WITHOUT INTRODUCING A VERTICAL ELEMENT (I.E. BUILDING OFFSET, PILASTER, ETC.) 	<ol style="list-style-type: none"> ROOF SCUPPER SEE DETAIL X/AX.00 CONTROL JOINT SIGNAGE - COORDINATE ELECTRICAL REQUIREMENTS AS NEEDED- REFER TO 'BUILDING SIGNAGE' BELOW EXTERIOR INSULATION FINISH SYSTEM PRE-FINISHED ALUMINUM WINDOWS AND LOUVERS, THERMALLY BROKEN FRAME, KYNAR 500 FINISH ALUMINUM STOREFRONT, THERMALLY BROKEN FRAME, KYNAR 500 FINISH PRE-FINISHED METAL LOUVERS AT DRYER VENTS, KYNAR 500 FINISH AUTOMATIC SLIDING DOORS EXTERIOR WALL SCONCE INSULATED HOLLOW METAL DOOR AND FRAME CLEARANCE SIGN SLOPE DRIVE 1:48 MAX (1:64 RECOMMENDED) TO DRAIN OUT FROM UNDER CANOPY. PROVIDE EXTERIOR LOUVERS TO MATCH LOOK OF PTAC-BASED WINDOWS. PROVIDE INSULATED PANEL BEHIND LOUVER AT NON-PTAC LOCATIONS GUEST LAUNDRY THRU WALL VENT FOR OPTIONAL LAUNDRY IF USED HARD SURFACE BASE MATERIAL (MASONRY/TILE) FLAT ROOF ABOVE SMOKING AREA WELCOME SIGNAGE - REFER TO GLOBAL EXTERIOR SIGNAGE SPECIFICATIONS FOR ADDITIONAL INFORMATION. RECESSED LED CAN LIGHT EQUIVALENT TO INTER-LUX MODEL: ORMA R. 55-ER6078-14-60-5 WITH EXTENDED STAINLESS STEEL MOUNTING SCREWS. 	<p>COLOR and FINISH LEGEND</p> <ul style="list-style-type: none"> MASONRY/TILE EIFS COLOR 1 EIFS COLOR 2 EIFS COLOR 3 EIFS COLOR 4 (COLOR TO MATCH WINDOW FRAME) EIFS COLOR 5 ARCHITECTURAL WOOD LOOK PANEL <p>NOTE: ALL EIFS THICKNESS IS 3" UNLESS NOTED OTHERWISE</p>
<p>BUILDING SIGNAGE NOTES</p> <ol style="list-style-type: none"> ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS. MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT. RACEWAYS / WIREWAYS ARE NOT ALLOWED PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL. GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY. 		

PROJECT

SCHEMATIC DESIGN PLANS FOR:
HAMPTON INN & SUITES
2355 FEATHER RIVER BLVD.
OROVILLE, CALIFORNIA

STATUS															
Current Release Date															
02-18-20															
Planning Submittal															
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Plan Check Submittal															
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REVISIONS															
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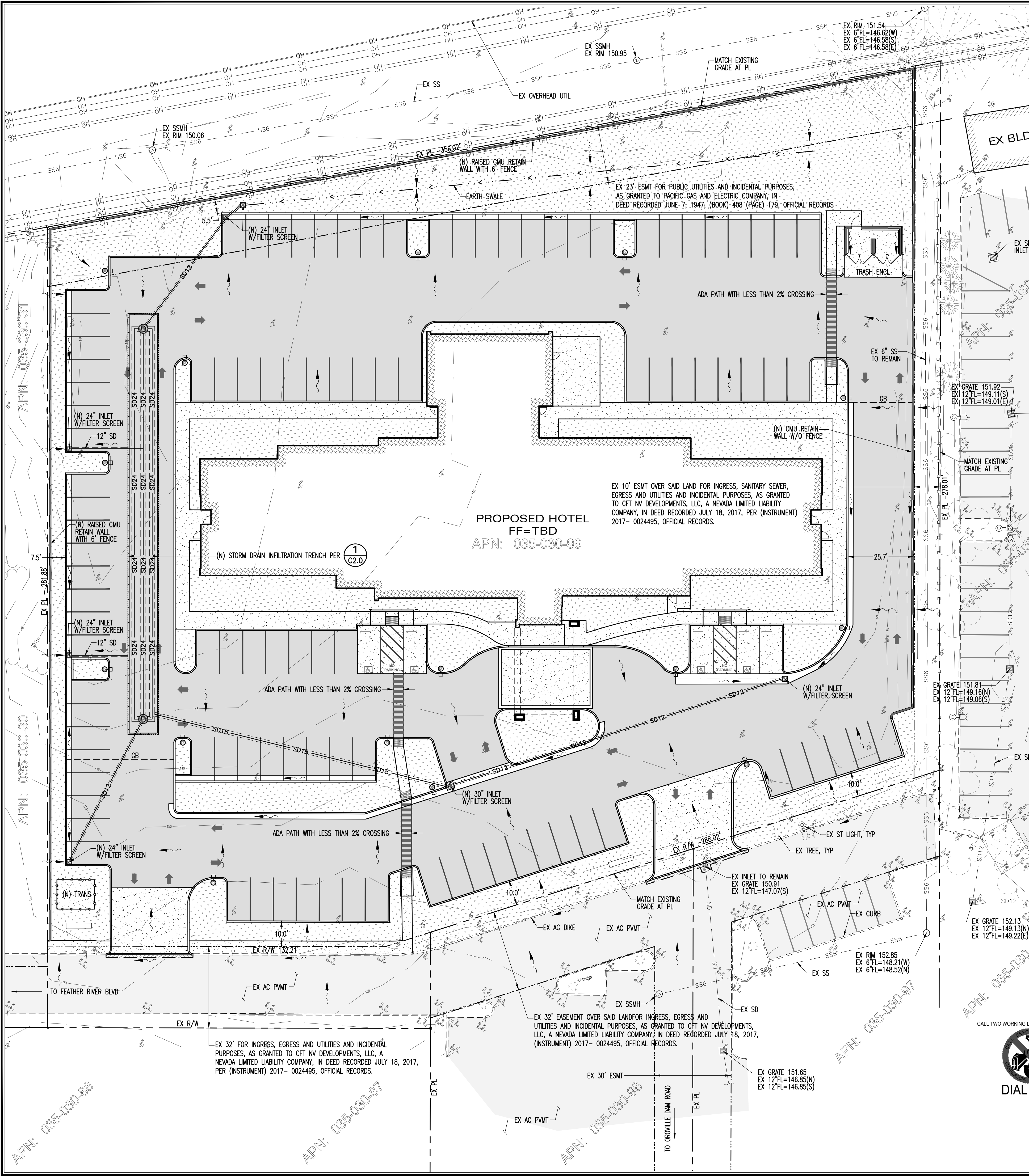
COLOR and FINISH LEGEND	
	MASONRY/TILE
	EFS COLOR 1
	EFS COLOR 2
	EFS COLOR 3
	EFS COLOR 4 (COLOR TO MATCH WINDOW FRAME)
	EFS COLOR 5
	ARCHITECTURAL WOOD LOOK PANEL
NOTE: ALL EFS THICKNESS IS 3" UNLESS NOTED OTHERWISE	

PROJECT
SCHEMATIC DESIGN PLANS FOR:
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1	▲
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3	▲
4	▲
5	▲

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CHRIS WARD
Project No.
19-114
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DUST SUPPRESSION PLAN

1. CONDUCT DAILY CLEANUP. THIS PRACTICE SHALL INCLUDE REMOVAL OF MUD AND DUST CARRIED ONTO STREET SURFACES BY CONSTRUCTION VEHICLES.
2. COVER HAUL TRUCKS WITH TARPULLINS OR OTHER EFFECTIVE COVERS AT ALL TIMES. EXCEPT WHEN LOADING OR UNLOADING MATERIALS.
3. WATER ALL EXPOSED EARTH SURFACES. THIS PRACTICE SHALL BE CONDUCTED AT A MINIMUM IN THE LATE MORNING AND AT THE END OF THE DAY. FURTHER, THE FREQUENCY OF WATERING SHALL INCREASE IF REQUIRED BY THE BUTTE COUNTY AIR POLLUTION CONTROL DISTRICT AND/OR CITY OF OROVILLE DEPARTMENT OF PUBLIC WORKS.
4. ALL CLEARING, GRADING, EARTH-MOVING, OR EXCAVATION ACTIVITIES SHALL CEASE WHEN WINDS EXCEED 15 MPH AVERAGED OVER 1 HOUR.
5. THE AREA DISTURBED BY DEMOLITION, CLEARING, GRADING, EARTH-MOVING, OR EXCAVATION OPERATIONS SHALL BE MINIMIZED AT ALL TIMES.
6. PORTIONS OF THE CONSTRUCTION SITE TO REMAIN INACTIVE LONGER THAN A PERIOD OF 14 DAYS SHALL BE SEEDED AND WATERED UNTIL GRASS COVER IS GROWN.
7. CONCRETE IN ALL ON-SITE PARKING AREAS SHALL BE PLACED AS SOON AS FEASIBLE OR WATERED PERIODICALLY OR CHEMICALLY STABILIZED.
8. THE CONTRACTOR SHALL MINIMIZE CONSTRUCTION-RELATED EXHAUST EMISSIONS TO MINIMIZE SUCH EMISSIONS BY MAINTAINING CONSTRUCTION EQUIPMENT ENGINES IN GOOD CONDITION AND IN PROPER TUNE ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND DURING SMOG SEASON (MAY THROUGH OCTOBER) BY NOT ALLOWING CONSTRUCTION EQUIPMENT TO BE LEFT IDLING FOR LONG PERIODS.
9. RE-VEGETATE AND/OR RE-PAVE EXPOSED SURFACES. THIS SHALL BE COMPLETED AS SOON AS POSSIBLE TO REDUCE DUST EMISSIONS. THE DUST SUPPRESSION PLAN SHALL BE SUBMITTED TO THE COUNTY OF BUTTE DEPT. OF PUBLIC WORKS & DEPT. OF DEVELOPMENT SERVICES FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A GRADING PERMIT.
10. IF NEEDED, WHEEL WASHERS SHALL BE INSTALLED WHERE PROJECT VEHICLES AND/OR EQUIPMENT ENTER AND/OR EXIT ONTO PAVED STREETS FROM UNPAVED ROADS. VEHICLES AND/OR EQUIPMENT SHALL BE WASHED PRIOR TO EACH TRIP IF NEEDED TO CONTROL FUGITIVE DUST.

BEST MANAGEMENT PRACTICES (BMP'S)

- ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE CITY OF OROVILLE STANDARDS AND THE EROSION CONTROL NOTES AS DESCRIBED HEREIN.
1. INTERIM EROSION CONTROL MEASURES MAY BE NEEDED AND SHALL BE INSTALLED DURING CONSTRUCTION TO ASSURE ADEQUATE EROSION CONTROL FACILITIES ARE IN PLACE AT ALL TIMES.
 2. ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF AND WITHIN THE CONSTRUCTION SITE SHALL BE PROTECTED WITH SEDIMENT CONTROL AND INLET FILTER BAGS.
 3. THE CONTRACTOR MAY PROVIDE CATCH BASIN FILTERS TO HELP REMOVE SEDIMENTS, OIL & GREASE AND HEAVY METALS FROM STORM WATER RUNOFF.
 4. SEDIMENT CONTROL MEASURES SUCH AS STRAW WADDLES SHALL BE PLACED ALONG THE PROJECT PERIMETER WHERE DRAINAGE LEAVES THE PROJECT.
 5. ALL SLOPES GREATER THAN 10% AND LESS THAN 50% THAT ARE FREE OF VEGETATION SHALL HAVE EARTHGUARD APPLIED OR MULCH SPREAD AND TACKED DOWN PRIOR TO A 30% CHANCE OF RAIN.
 6. ALL MULCH MAY BE STRAW OR RICES. ALL MULCH SHOULD BE USED WITH A TACKIFIER.
 7. ALL SANDBAGS MAY BE GRAVEL OR SAND FILLED BAGS.
 8. ANY SOIL MATERIAL CARRIED ONTO STREET SURFACES BY CONSTRUCTION EQUIPMENT SHALL BE REMOVED ON A DAILY BASIS. (BROOM CLEAN- DO NOT USE WATER TO WASH THE STREET).
 9. IF THE CONSTRUCTION SITE IS TO REMAIN INACTIVE LONGER THAN 14 DAYS THE SITE SHALL BE STABILIZED BY APPLYING "EARTH GUARD" OR SEEDED AND WATERED UNTIL GRASS COVER IS GROWN.
 10. INSPECT SEDIMENT CONTROL DEVICES AFTER EACH STORM AND REMOVED SEDIMENT.
 11. HAUL TRUCKS SHALL BE COVERED WITH TARPULLINS OR OTHER EFFECTIVE COVERS AT ALL TIMES.
 12. PRIOR TO PROJECT COMPLETION ALL DISTURBED AREAS MUST BE STABILIZED WITH PERMANENT LANDSCAPING.
 13. INSTALL CONCRETE WASHOUT PER REGIONAL WATER QUALITY CONTROL BOARD STANDARDS. ALLOW WATER TO EVAPORATE AND REMOVE SETTLED, HARDENED CONCRETE TO THE PROPER LOCAL DUMP SITE.

LEGEND - PROPOSED

---	CENTERLINE/SECTION LINE
---	PROPERTY LINE
---	EASEMENT LINE
---	PROPOSED STORM DRAIN
---	SWALE LINE
---	NEW CMU/RETAINING WALL

SHEET NUMBER	DESCRIPTION
C1.0	PRELIMINARY GRADING & DRAINAGE PLAN
C2.0	DETAILS
PROPERTY INFORMATION	
OWNER: BEST WESTERN INTERNATIONAL 300 HARVEST SKY COURT ROSEVILLE, CA 95747 916-410-0202	SITE ADDRESS: 2355 FEATHER RIVER BLVD OROVILLE, CA 95965 APN: 035-030-022, AREA: 2.46 ACRES (107,158 SF)

ABBREVIATIONS

AC	ASPHALT CONCRETE	FS	FINISHED SURFACE	PRC	POINT OF REVERSE CURVATURE
BC	BEGIN CURVATURE	FW	FIRE WATER	PVE	PUBLIC UTILITY EASEMENT
BVCS	BEGIN VERTICAL CURVATURE STATION	FWM	FIRE WATER MAIN	PVI	POINT OF VERTICAL INTERSECTION
BVCE	BEGIN VERTICAL CURVATURE ELEVATION	FWS	FIRE WATER SERVICE	PYP	PAVEMENT
BM	BENCHMARK	FWSL	FIRE WATER SERVICE LINE	RCF	REINFORCED CONCRETE PIPE
BO	BLOW OFF	GB	GRADE BREAK	RDCR	REDUCER
BO	BOTTOM OF WALL	GR	GRATE ELEVATION	RET	RETAINING
C/CONC	CONCRETE	GRC	GALVANIZED RIGID CONDUIT	RIP	REDUCE PRESSURE BACKFLOW ASSEMBLY
CL	CENTERLINE	GSS	GRAY SANITARY SEWER	RW	RIGHT-OF-WAY
CL	CURB RETURN	GSSMH	GRAY SANITARY SEWER MANHOLE	SD	SLOPE
CR	DETECTOR CHECK	HBC	HOUSE BRANCH	SDM	STORM DRAIN
CR	DETECTOR CHECK	HL	HINGE LINE	SDMH	STORM DRAIN MANHOLE
DW	DOMESTIC WATER SERVICE LATERAL	IE	INVERT ELEVATION	SE	SUPERELEVATION
DI	DRAIN INLET	IR	IRRIGATION	SS	SUBGRADE
DW	DOMESTIC WATER MAIN	IRW	IRRIGATION WATER	SL	STREET LIGHT
DWS	DOMESTIC WATER SERVICE	LG	LANDSCAPE EASEMENT	SSMH	SANITARY SEWER MANHOLE
EC	END CURVATURE	LT	LIGHT	ST	STREET
EG	EXISTING GRADE	LI	LIP OF GUTTER	SW	SIDEWALK
EP	EDGE OF PAVEMENT	MH	MANHOLE	TC	TOP OF CURB/CONC
ESMT	EASEMENT	MS	MOW STRIP	TD	TOP OF DIKE
EVCS	END VERTICAL CURVATURE STATION	MTR	METER	TF	TOP OF FOOTING
EX	EXISTING	NC	NOT INCLUDED	TW	TOP OF WEDGED CURB
EX(E)	EXISTING	NF	NON-POTABLE WATER	TWC	TOP OF WEDGE CURB
(F)/FUT	FUTURE	OD	OUTSIDE DIAMETER	TWO	TOP OF WOOD DECK
FDC	FIRE DEPARTMENT CONNECTION	OS	OFFSET	UNO	UNLESS NOTED OTHERWISE
FES	FLARED END SECTION	P	PAVEMENT	UP	UTILITY POLE
FG	FINISHED GRADE	PE	PEDESTRIAN EASEMENT	VG	VALLEY GUTTER
FH	FIRE HYDRANT	PE	PEDESTRIAN EASEMENT	VM	VALVE METER
FI	FIBER OPTIC	PV	POST INDICATING VALVE	WV	WATER VALVE
FP	FINISHED PAD	PL	PROPERTY LINE	WV	WATER VALVE
		POC	POINT OF CONNECTION	WCR	WHEELCHAIR RAMP

LEGEND - EXISTING NOTE: NOT ALL EXISTING SYMBOLS IN PLANS MAY BE SHOWN HERE

W12	EX WATER MAIN & PIPE SIZE	SM	EX STORM DRAIN MANHOLE
SS12	EX SANITARY SEWER & PIPE SIZE	SMH	EX SEWER MANHOLE
SD15	EX STORM DRAIN & PIPE SIZE	UP	EX UTILITY POLE
C	EX BURIED COMMUNICATION LINE	FH	EX FIRE HYDRANT
T	EX BURIED TELEPHONE LINE	WM	EX WATER METER
E	EX BURIED ELECTRICAL LINE	WV	EX WATER VALVE
G	EX BURIED GAS PIPE	CF	EX CHAINLINK FENCING
IRP 30	EX BURIED IRRIGATION & PIPE SIZE	IF	EX IRON FENCING
OH	EX OVERHEAD UTILITY	CL	EX CENTERLINE/SECTION LINE
FO	EX BURIED FIBER OPTICS	PL	EX PROPERTY LINE
UU	EX UNKNOWN UTILITY TYPE	EA	EX EASEMENT LINE
GM	EX GAS METER	AC	EX ACQUIREMENT OF ACCESS
SC	EX SEWER CLEANOUT	CONC	EX CONCRETE
SG	EX SIGNAGE	ASP	EX ASPHALT PAVEMENT
TE	EX TELEPHONE PEDESTAL/BOX	MB	EX MAILBOX
EB	EX ELECTRICAL PULL BOX	BW	EX BLOCK WALL
EV	EX ELECTRICAL VAULT	CI	EX CURB INLET
PM	EX ELECTRICAL PAD MOUNTED	CG	EX CURB & GUTTER
GW	EX GUY WIRE		

BENCHMARKS

THE BENCHMARK USED FOR THIS PROJECT IS THE CITY OF OROVILLE BENCHMARK #95LOCATED IN A TRIANGLE ISLAND AT THE NORTH WEST CORNER OF FEATHER RIVER BOULEVARD AND ORO DAM BOULEVARD DESIGNATION TT 21 C.

ELEVATION = 160.00 NAVD88 DATUM.

FLOODPLAN

THE PROJECT IS LOCATED WITHIN FEMA PANEL 06007C0980E, EFFECTIVE ON 01/06/2011

STORM WATER MANAGEMENT

ALL ON-SITE STORM WATER SHALL BE DISPOSED OF ON-SITE BY MEANS OF PERCOLATION TO MEET THE 5-YEAR STORM. STORM WATER IN EXCESS OF THE DESIGN INFILTRATION RATE SHALL BE DESIGNED TO BREAKOVER OFF-SITE TO EXISTING DRAINAGE PATTERNS. A SITE SPECIFIC STORM WATER DESIGN WILL BE PREPARED AT THE TIME OF CONSTRUCTION DOCUMENT SUBMITTAL.

SOIL REPORT

CONSTRUCTION SHALL CONFORM TO THE SOILS REPORT PREPARED BY CGI TECHNICAL SERVICE, INC. DATED XXXXXX. THE CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY IF SOILS DIFFERING IN CHARACTER OR STRUCTURE FROM THE REPORT ARE FOUND TO BE PRESENT ON THE SITE.



CALL TWO WORKING DAYS BEFORE YOU DIG!

NOTE: CONTRACTOR SHALL VERIFY EXACT LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT UNDERGROUND SERVICES ALERT TO LOCATE EXISTING UTILITIES 48 HOURS PRIOR TO CONSTRUCTION AT 811.

SCALE: 1" = 20'

20 0 20

NOT FOR CONSTRUCTION

HAMPTON INN & SUITES

PRELIMINARY GRADING AND DRAINAGE PLAN

2355 FEATHER RIVER BLVD
OROVILLE, CA 95965

LORE ENGINEERING, INC.
CIVIL ENGINEERING • CONSULTING • PLANNING
620 DEWITT AVENUE, SUITE 101
CLOVIS, CA 93612
EMAIL: HAL@LORE-ENGINEERING.COM • WWW.LORE-ENGINEERING.COM
(509) 297-5500 TEL
(509) 297-5205 FAX

JOB: MMD.1901
SHEET NO: **C1.0**
SHEET 1 OF 2
DATE: 02/12/20
DESIGNED BY: HML
DRAWN BY: GNX
CHECKED BY: HML

REV NO | DATE | DESCRIPTION

GRADING PERMIT: | DEVELOPMENT PERMIT: SPR 8107

APN: 035-030-88

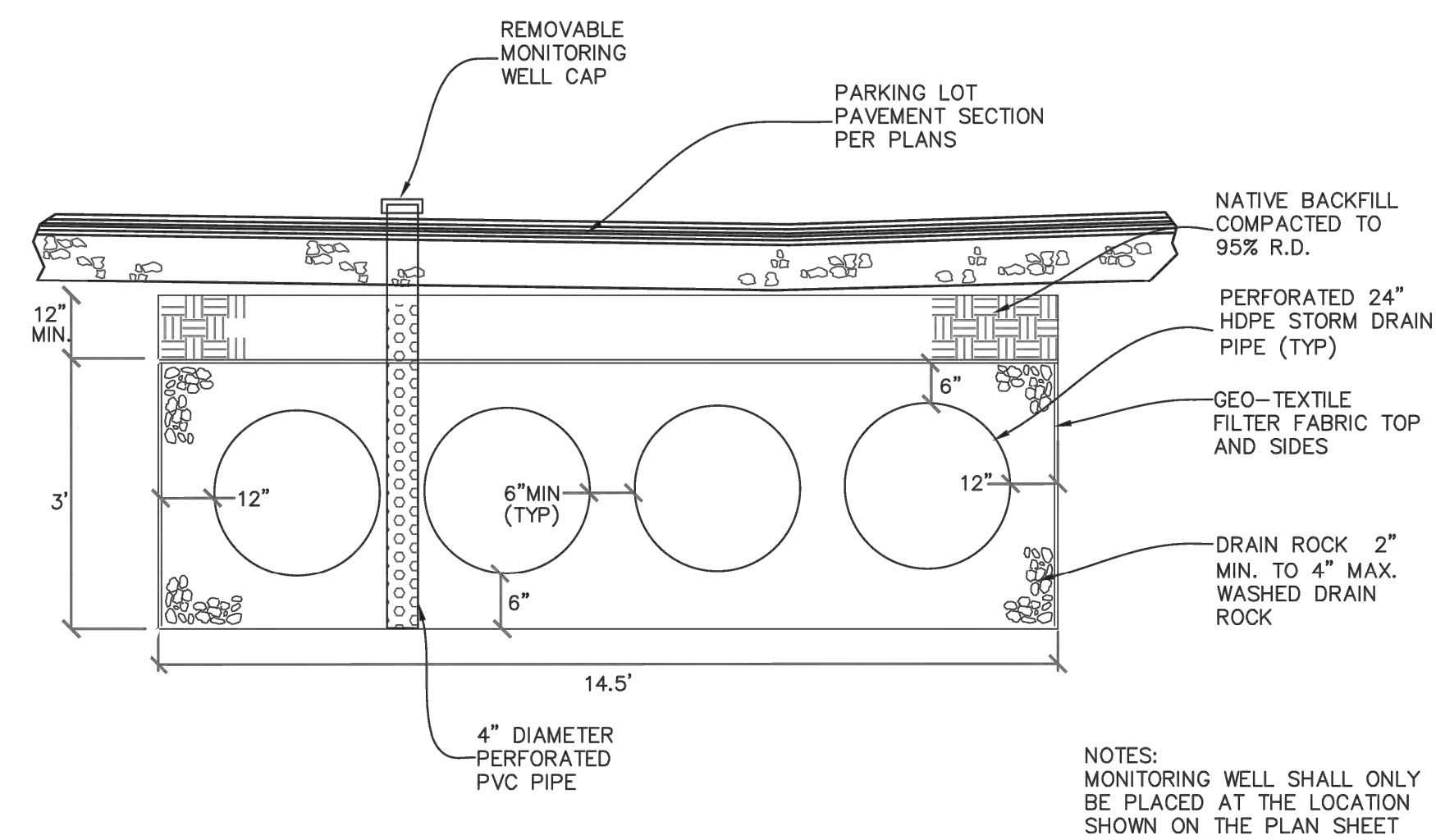
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APN: 035-030-97

APN: 035-030-99

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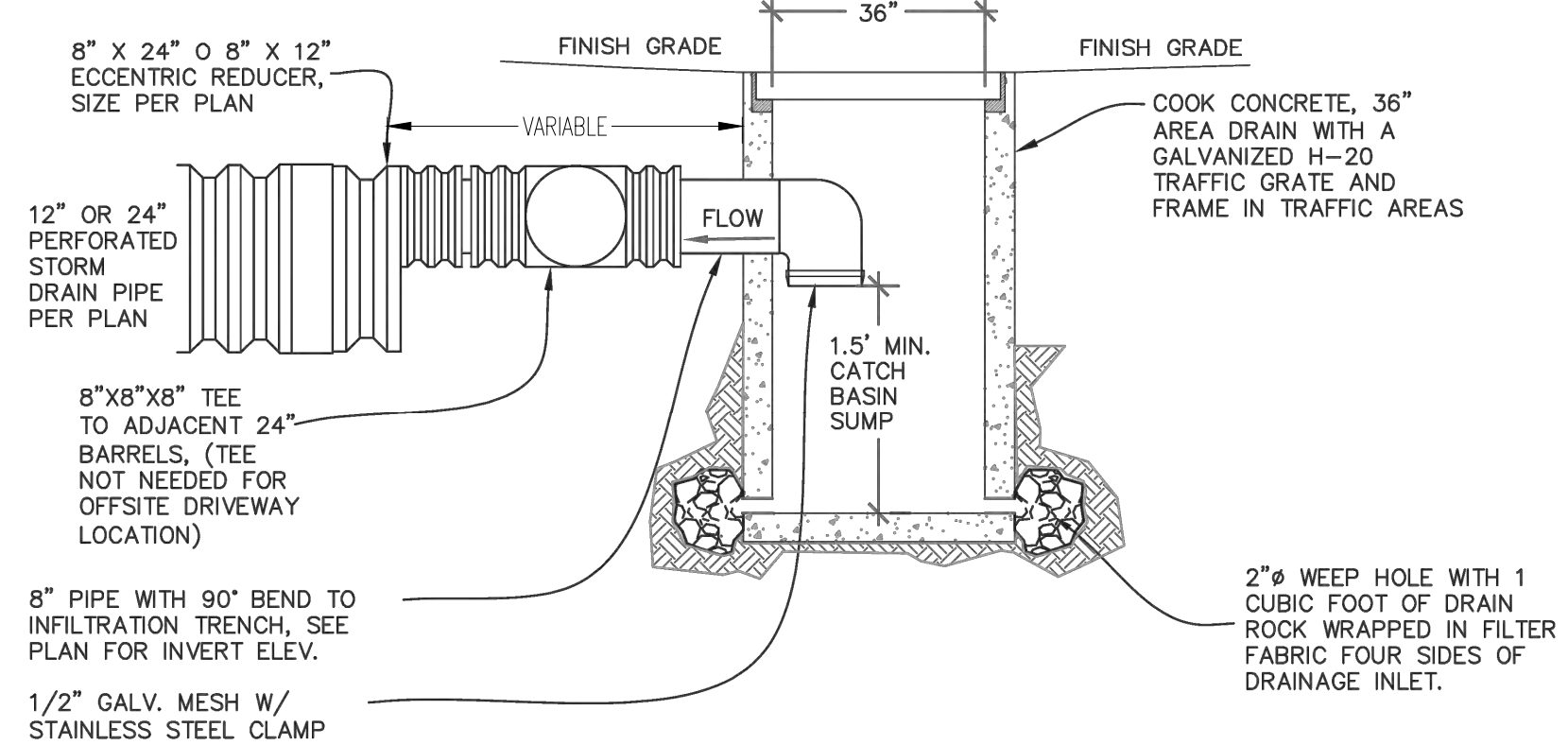


NOTE: SITE SPECIFIC SIZE TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENT SUBMITTAL

PRELIMINARY STORM WATER INFILTRATION TRENCH

NTS

1

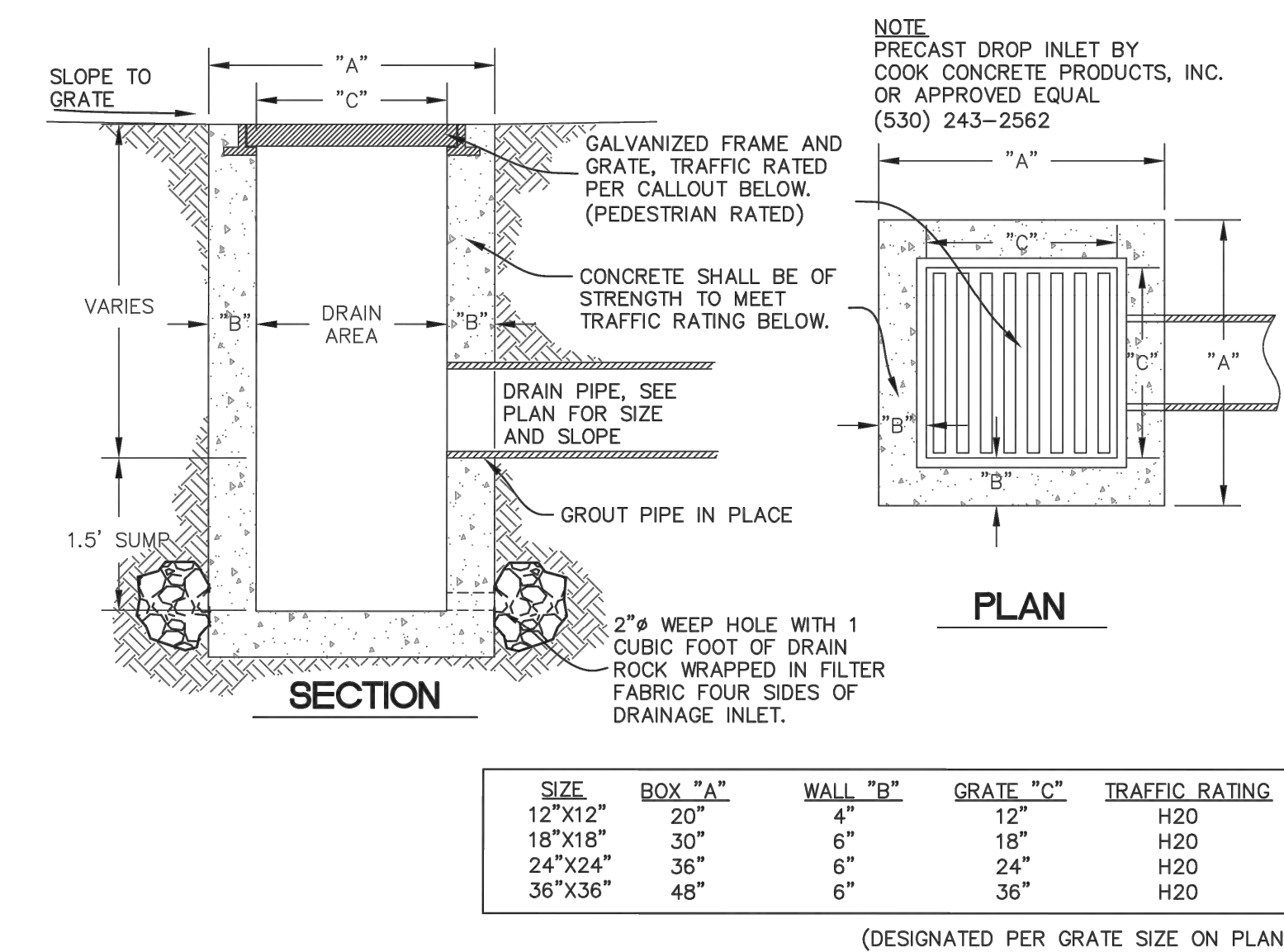


NOTE: SITE SPECIFIC SIZE TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENT SUBMITTAL

TYPICAL STORM DRAIN INLET TO FILTRATION TRENCH

NTS

2



TYPICAL 12' & 18' & 24" FLAT GRATE DRAINAGE INLET

NTS

3

<i>HAMPTON INN & SUITES</i>	
MISCELLANEOUS DETAILS	
2355 FEATHER RIVER BLVD OROVILLE, CA 95965	
<p>LORE ENGINEERING, INC. CIVIL ENGINEERING • CONSULTING • PLANNING 620 DEWITT AVENUE, SUITE 101 CLOVIS, CA 93612 EMAIL: HAL@LORE-ENGINEERING.COM • WWW.LORE-ENGINEERING.COM</p>	<p>JOB: MMD.1901</p> <p>SHEET NO:</p> <p style="font-size: 2em; font-weight: bold;">C2.0</p> <p>SHEET 2 OF 2</p>
	<p>DATE: 02/12/20</p> <p>DESIGNED BY: HML</p> <p>DRAWN BY: GNX</p> <p>CHECKED BY: HML</p>
<p>REV NO</p> <p>DATE</p> <p>DESCRIPTION</p>	<p>DEVELOPMENT PERMIT: SPR 8107</p>

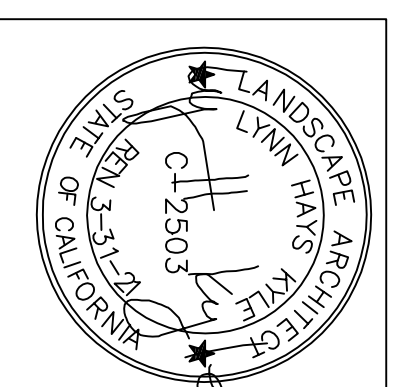
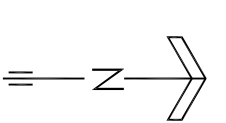
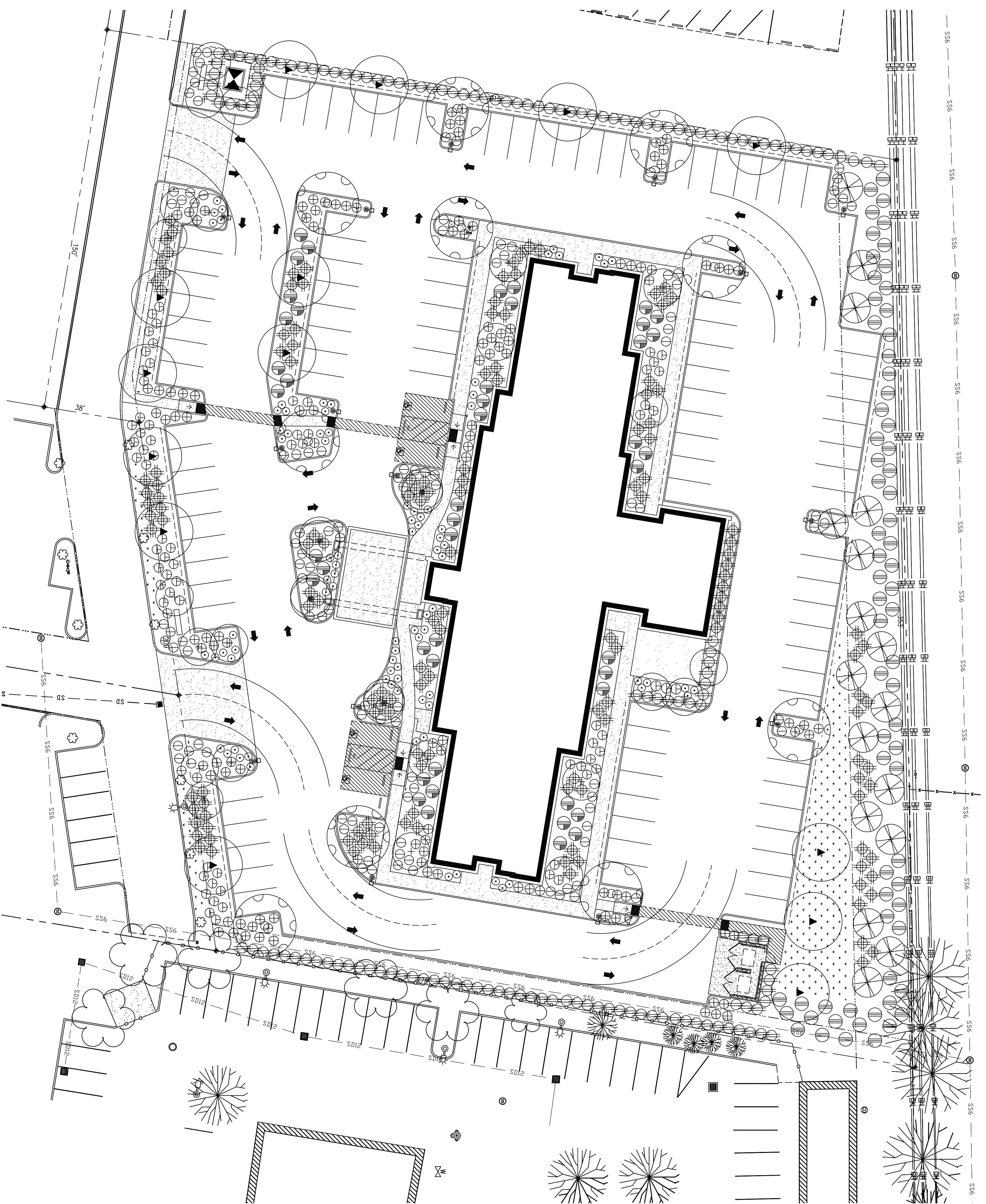
PLANT LIST

TREES	KEY	DESCRIPTION	WILDCO VALUE
	▲	ULMUS WILSONIANA 'PROSPECTOR'	LOW
	○	15 GAL PROSPECT ELM	LOW
	●	ARBUTUS MARINA	LOW
	○	24" BOX STRAWBERRY TREE	LOW
	○	PISTACIA CHINENSIS 'KEITH DAVEY'	LOW
	○	15 GAL CHINESE PISTACHE	LOW
	+	LAGERSTROEMIA 'MUSKOGEE'	LOW
	+	15 GAL GRAPE MYRTLE	LOW
	⊗	CERCIS OCCIDENTALIS	LOW
	⊗	15 GAL WESTERN REDBUD	LOW

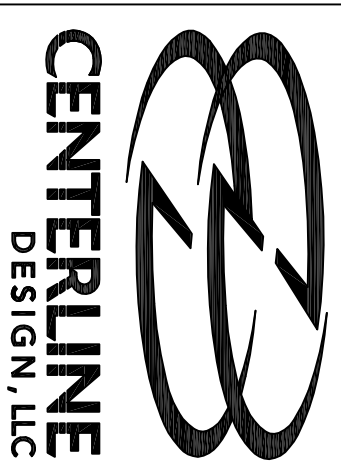
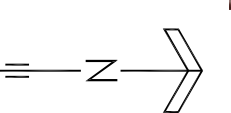
SHRUBS & GROUND COVERS

KEY	DESCRIPTION	WILDCO VALUE
⊖	LIGUSTRUM JAPONICA 'TEXANUM'	LOW
⊖	5 GAL TEXAS PRIVET	LOW
⊖	EVERGREEN HEDGE	LOW
⊕	GALLISTEMON 'LITTLE JOHN'	LOW
⊕	5 GAL DWARF BOTTLEBRUSH	LOW
⊖	LANTANA M. 'LAVENDER SWIRL'	LOW
⊖	1 GAL LANTANA	LOW
⊖	SALVA MICROPHYLLA 'BERKELEY'	LOW
⊖	5 GAL SAGE	LOW
⊖	GREVILLEA 'NOELI'	LOW
⊖	5 GAL GREVILLEA	LOW
⊕	OSTIUS SALVIFOLIUS	LOW
⊕	5 GAL SAGELEAF ROCKROSE	LOW
⊕	MULLENBERGIA CAPILLARIS	LOW
⊕	5 GAL PINK WUPLY	LOW
⊕	PHORBIUM TENAX 'RADIANCE'	LOW
⊕	5 GAL NEW ZEALAND FLAX	LOW
⊕	MYOPORUM 'PUTAH CREEK'	LOW
⊕	1 GAL MYOPORUM	LOW

TOTAL LANDSCAPE AREA = 25,400 SQ. FT.



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PLANNING - DESIGN - CONSULTING
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CLOVIS, CALIFORNIA 93611
559-298-3867 (PH)
559-298-3867 (FAX)

PROJECT
SCHEMATIC DESIGN PLANS FOR:
HAMPTON INN & SUITES
2355 FEATHER RIVER BLVD.
OROVILLE, CALIFORNIA

STATUS	DATE
Current Release Date	12-12-18
Planning Submittal	---
Plan Check Submittal	---

REVISIONS

IDENTIFICATION
Scale 1" = 20'0"
Project Coordinator CHRIS MIRD
Project No. 19-114
Sheet 1-1

LANDSCAPE PLAN

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